



OPEN MEETING

REGULAR OPEN MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROLS AND STANDARDS COMMITTEE*

**Thursday, August 17, 2023 – 9:30 a.m.
Laguna Woods Village Board Room /Virtual Meeting
24351 El Toro Road, Laguna Woods, CA 92637**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions regarding virtual meetings using one of two options:

1. Join via Zoom by clicking this link: <https://us06web.zoom.us/j/91432172027> or by calling 669-900-6833 Webinar ID: 91432172027.
2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Name and unit number must be included.

NOTICE and AGENDA

This Meeting May Be Recorded

1. Call to Order
2. Acknowledgement of Media
3. Approval of Agenda
4. Approval of Meeting Report for July 20, 2023
5. Chair's Remarks
6. Member Comments - *(Items Not on the Agenda)*
7. Division Manager Update
8. Consent: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*
 - a. Monthly Mutual Consent Report
9. Variance Requests
 - a. 308-C: Variance to Demolish Exterior Stucco Wall and Expand Kitchen
10. Items for Discussion and Consideration
 - a. Revision to Alteration Fee Schedule

11. Items for Future Agendas

- a. Revised Resale Inspection Fee
- b. Approve United Board “Contractors in Good Standing” List

12. Concluding Business

- a. Committee Member Comments
- b. Date of Next Meeting – Thursday, September 21, 2023 at 9:30 a.m.
- c. Adjournment

*A quorum of the United Board or more may also be present at the meeting.

Anthony Liberatore, Chair
Baltazar Mejia, Maintenance & Construction Assistant Director
Telephone: 949-597-4616



OPEN MEETING

REPORT OF THE REGULAR OPEN MEETING OF THE UNITED LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROLS AND STANDARDS COMMITTEE*

**Thursday, July 20, 2023 – 9:30 a.m.
Laguna Woods Village Board Room/Virtual Meeting
24351 El Toro Road, Laguna Woods, California**

REPORT

MEMBERS PRESENT:

Anthony Liberatore – Chair, Maggie Blackwell, Sue Quam (arrived at 9:31 a.m.)

STAFF PRESENT:

Ian Barnette – Maintenance & Construction Assistant Director (arrived at 9:34 a.m. via Zoom), Bart Mejia – Maintenance & Construction Assistant Director (in the audience), Michael Horton – Manor Alterations Manager, Gavin Fogg – Manor Alterations Supervisor (arrived at 9:43 a.m. via Zoom), David Rudge – Manor Alterations Inspector II, Josh Monroy – Manor Alterations Coordinator

1. Call Meeting to Order

Chair Liberatore called the meeting to order at 9:30 a.m.

2. Acknowledgement of Media

The meeting was being broadcast on Granicus and Zoom. No media was present.

3. Approval of the Agenda

Hearing no objection, the agenda was approved by consent.

4. Approval of the Meeting Report for June 15, 2023

Hearing no objection, the meeting report was approved by consent.

5. Chair's Remarks

Chair Liberatore thanked staff for their efforts to arrange this meeting. Chair Liberatore advised members that on Friday, August 11th from 2:00 p.m. – 4:00 p.m. in Clubhouse 3 there will be a United Mutual Town Hall.

6. Member Comments - (*Items Not on the Agenda*)

None.

7. Division Manager Update

Mr. Horton introduced David Rudge the new Manor Alterations variance inspector. Mr. Horton provided background on Mr. Rudge's experience and expertise. Additionally, Mr. Horton advised the committee that he's reached out to Resident Services and has asked for a copy of their glossary of terms, which he plans to share with the Manor Alteration staff to simplify the process for residents.

8. Monthly Mutual Consent Report

Consent: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

There are no items on the consent calendar for this month.

a. Mr. Horton provided insight into the number of mutual consents submitted and completed over a five-month period.

9. Variance Requests

a. 405-B: Variance for Handrail and Ramp Installation at Entry

The variance was introduced by Mr. Horton. Discussion ensued and staff answered questions from the committee.

A motion was made to refer the variance back to staff for further investigation. The motion was approved by unanimous consent.

b. 2010-C: Variance for Polycarbonate Patio Cover on Front Patio

The variance was introduced by Mr. Horton. Discussion ensued and staff answered questions from the committee.

A member commented on the variance request and staff responded.

A motion was made to approve the recommended material provided that they comply with the requirements that staff has stated and to move forward to the United Board for approval. The variance was approved by unanimous consent.

c. 921-G: Variance for Atrium Enclosure with Non-Standard Opening in Wall

The variance was introduced by Mr. Horton. Discussion ensued and staff answered questions from the committee.

A motion was made to approve the variance as described. The variance was approved by unanimous consent.

d. 484-D: Variance for Interior Stair Relocation and Bathroom Remodel

The variance was introduced by Mr. Horton. Discussion ensued and staff answered questions from the committee.

A member commented on the variance request and staff responded.

A motion was made to approve the variance as described. The variance was approved by unanimous consent.

10. Items for Discussion and Consideration

a. Revision to Alteration Fee Schedule

Chair Liberatore asked staff to provide an explanation on postponing this item to a future date.

A motion was made to postpone this item. The motion was approved by unanimous consent.

b. Accommodation for Disabled Residents-Relationship between renter, resident (owner) and United Mutual for accesibility exposure sent to appropriate parties Resales (Pamela Bashline) and Legal

Mr. Horton advised the committee that renter requests for accessibility improvements must go through the landlord-resident. The landlord will then be responsible to present the request to Manor Alterations. Manor Alterations has no fiduciary duty to the renter only the landlord.

Additionally, if the renter has any questions, comments or concerns they are advised to go to the Orange County Housing Authority and the Fair Housing Council of OC and request mediation.

11. Items for Future Agendas

- a. Revision to Alteration Fee Schedule
- b. Revised Resale Inspection Fee
- c. Approve United Board "Contractors in Good Standing" List (Have Legal Department draft disclaimer. Have Mutual Attorney review it).

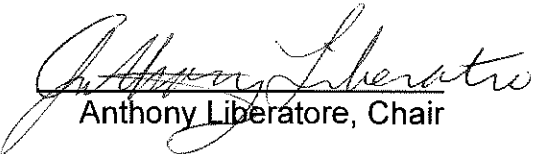
12. Committee Member Comments

- Director Quam introduced herself to the committee and make remarks about how impressed she was by the amount of work that goes on.
- Chair Liberatore thanked staff.

13. Date of Next Meeting: August 17, 2023 at 9:30 a.m.

14. Adjournment

The meeting was adjourned at 10:28 a.m.

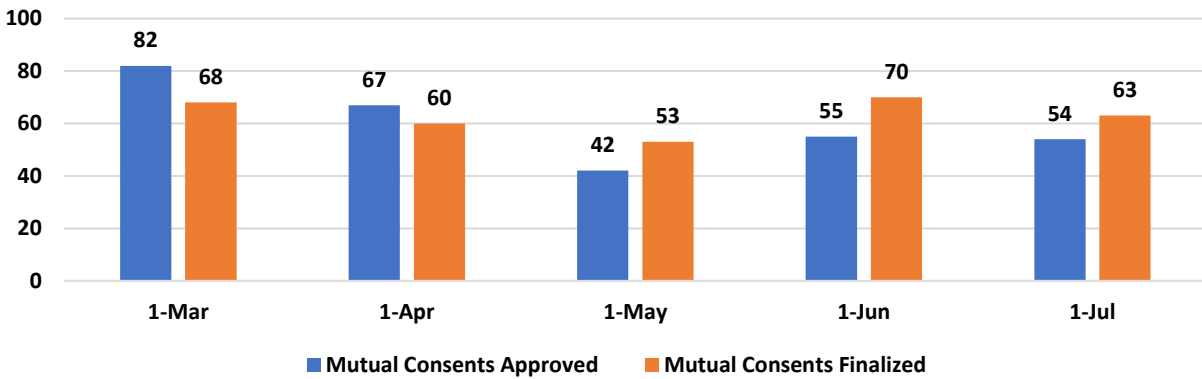


Anthony Liberatore, Chair

Anthony Liberatore, Chair
Baltazar Mejia, Staff Officer
Telephone: 949-597-4616



UNITED MONTHLY MUTUAL CONSENT REPORT



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United ACSC – August 17, 2023

Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
A	308-C	Kitchen Extension into Front Patio	<p><u>GENERAL NOTES:</u></p> <ul style="list-style-type: none"> • 308-C is an inside unit of an eight-manor building. • Variance is to Extend the kitchen in to the Patio Limited Common Area for the exclusive use of the Manor. • Variance will add 120 square feet • Roof Alteration Form required for Roof Tie-in that is to be coordinated with United Roofing Contractor <p>Staff Recommendation: Approve</p>

(*) The following attachments are included for your review and reference. Should any of these requests be recommended for approval, the final version of these documents will become the attachments to the United Laguna Woods Mutual Board staff report:

1. Variance Request Form
2. Photos
3. Location Map
4. Plan(s)
5. Draft Conditions of Approval
6. Draft Resolution

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Manor 308-C

Variance Request Form

SA _____

Model: <u>Barcelona</u>	Plan: <u>10B</u> <u>CCM</u>	Date: <u>07/05/2023</u>
Member Name: [REDACTED]	Signature: [REDACTED]	
Phone: [REDACTED]	E-mail: [REDACTED]	
Contractor Name/Co: <u>Abbey Najafi</u>	Phone: <u>(949) 533-1389</u>	E-mail: <u>abbeynajafi@yahoo.com</u>
Mailing Address: (to be used for official correspondence)	[REDACTED]	

Description of Proposed Variance Request ONLY:

Adding the Patio area to the existing Kitchen area requires removal of the proposed existing kitchen South wall. As per Engineer calculations and illustration shown on the attached color coded diagram for ease of review of roof loads paths to the foundation, only small fraction of (10%) of load carried by the kitchen exterior wall. (Refer to Sketch #1, on the Barcelona Model Plan #10B as built drawing A-5)

Please note that the proposed wall to be removed, will be replaced by a 2x12 JOIST and Simpson Strong Shear Wall with much higher load capacities as shown on the new proposed Section "C", (Refer to the attached drawing A-2, titled as Elevations, Sections and Roof Plan, and drawing S-1, Structural and related details drawing D-1), & Simpson Typical Detail For proposed alterations for wall elevations and windows: (Refer to Sheet A-1 & A-2)

Dimensions of Proposed Variance Alterations ONLY:

1. ^{EXISTING} Kitchen South wall, 10'-3 1/2" width x 8'-0" high same as existing Patio wall.
2. New Proposed Kitchen South wall, 10'-3 1/2" width x 8'-0" high,
3. New Window on proposed Kitchen South Wall 72" width x 58" high
4. New Window on proposed Kitchen East Wall 72" width x 40" high
5. New proposed East wall 12'-5" same as Existing Patio wall

FOR OFFICE USE ONLY

RECEIVED BY: _____ DATE RECEIVED: _____ Check# _____ BY: _____

Alteration Variance Request	Complete Submittal Cut Off Date:
Check Items Received: <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance	Meetings Scheduled: Third AC&S Committee (TACSC): _____

ATTACHMENT 2
PHOTOS







NEW WINDOW

308 C

3X4 DOWNSPOUT RELOCATED
TO FRONT OF BUILDING INTO
PROPER DRAINAGE SYSTEM PER
STANDARD 18



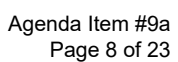


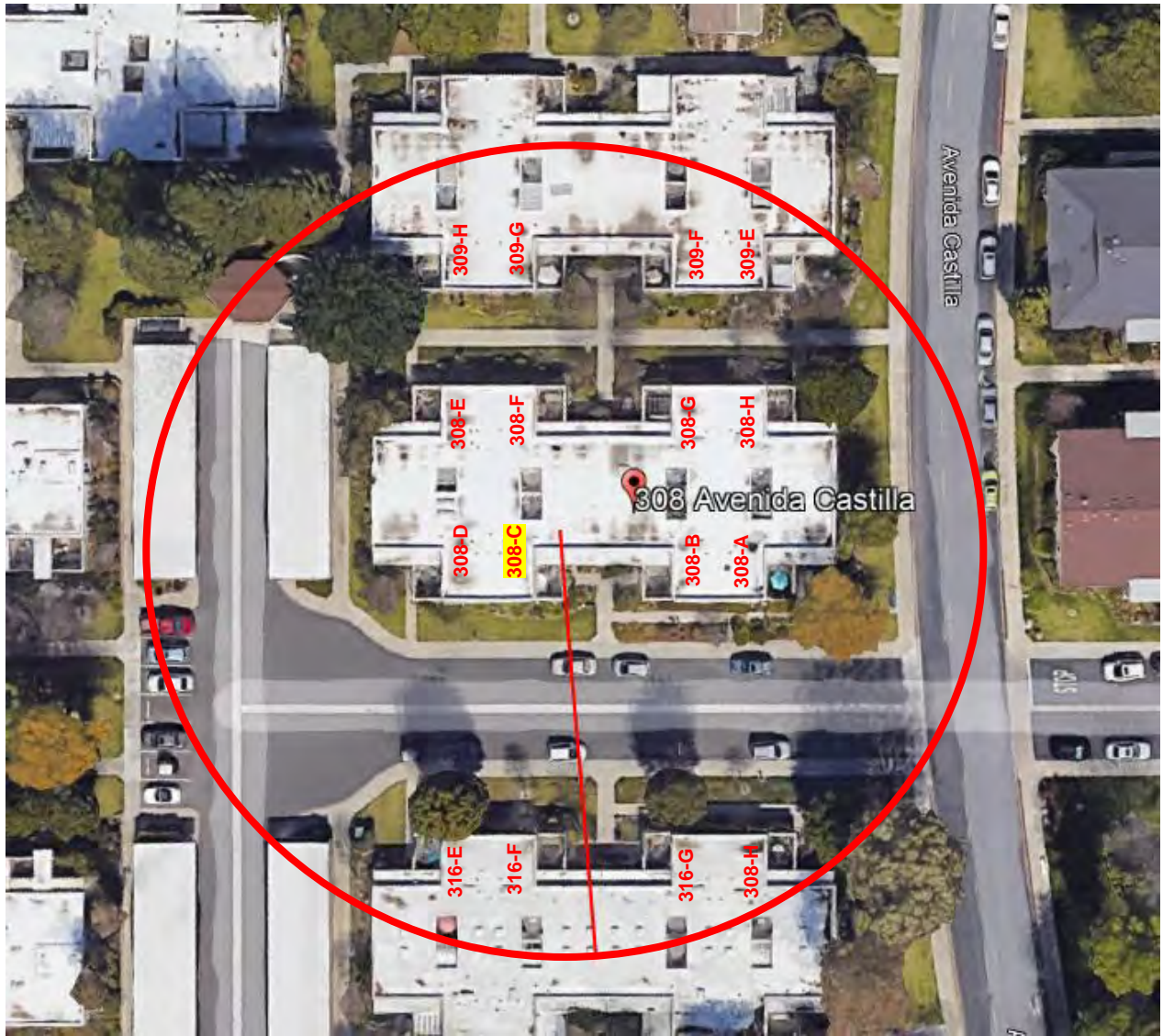
DEMOLISH EXTERIOR
WALL AND WINDOW TO
EXTEND KITCHEN



ROOF LINE OF EXTENSION

308-C Avenida Castilla



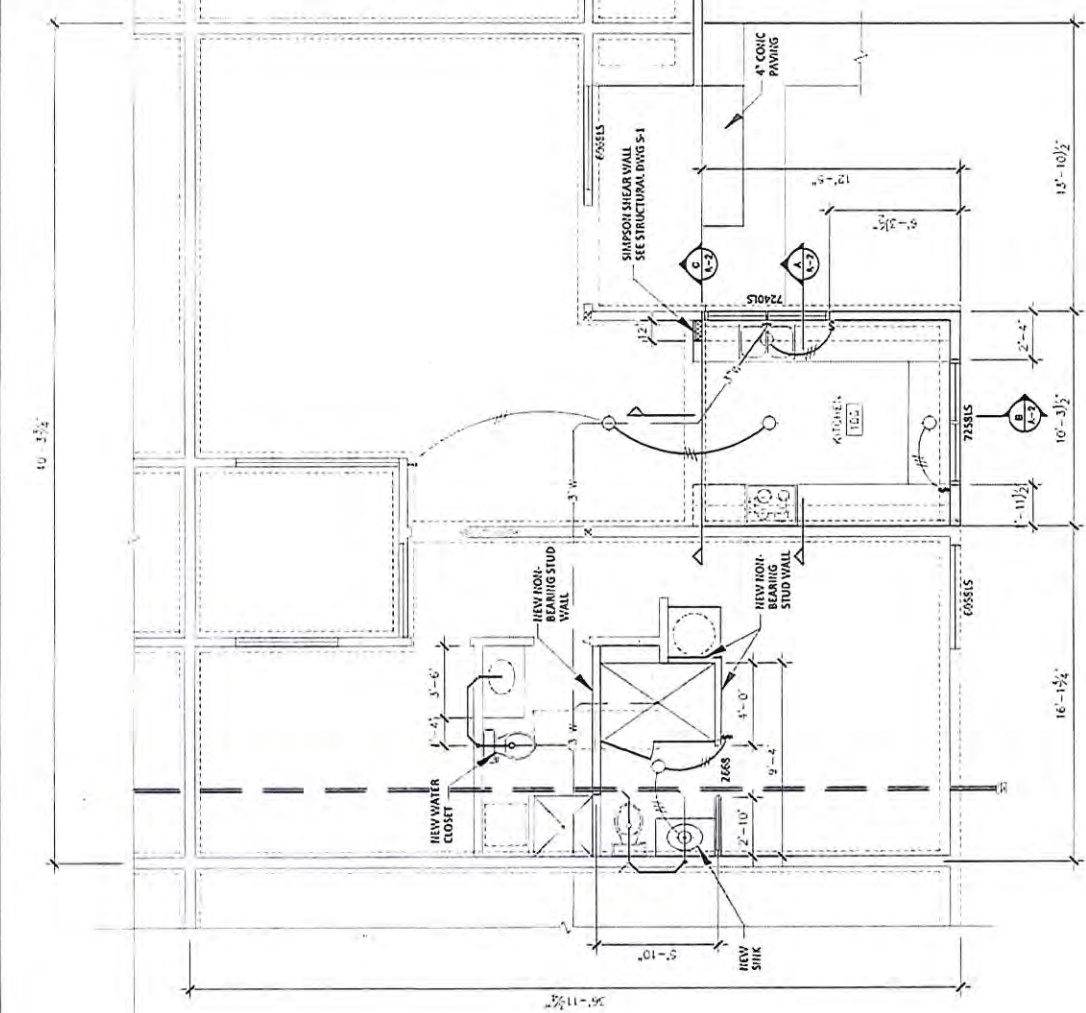


DATE	
REVISION	
DT	

308 Avenida Castilla, Unit C, Laguna Woods, California 92637
 Nine Pointed Star LLC

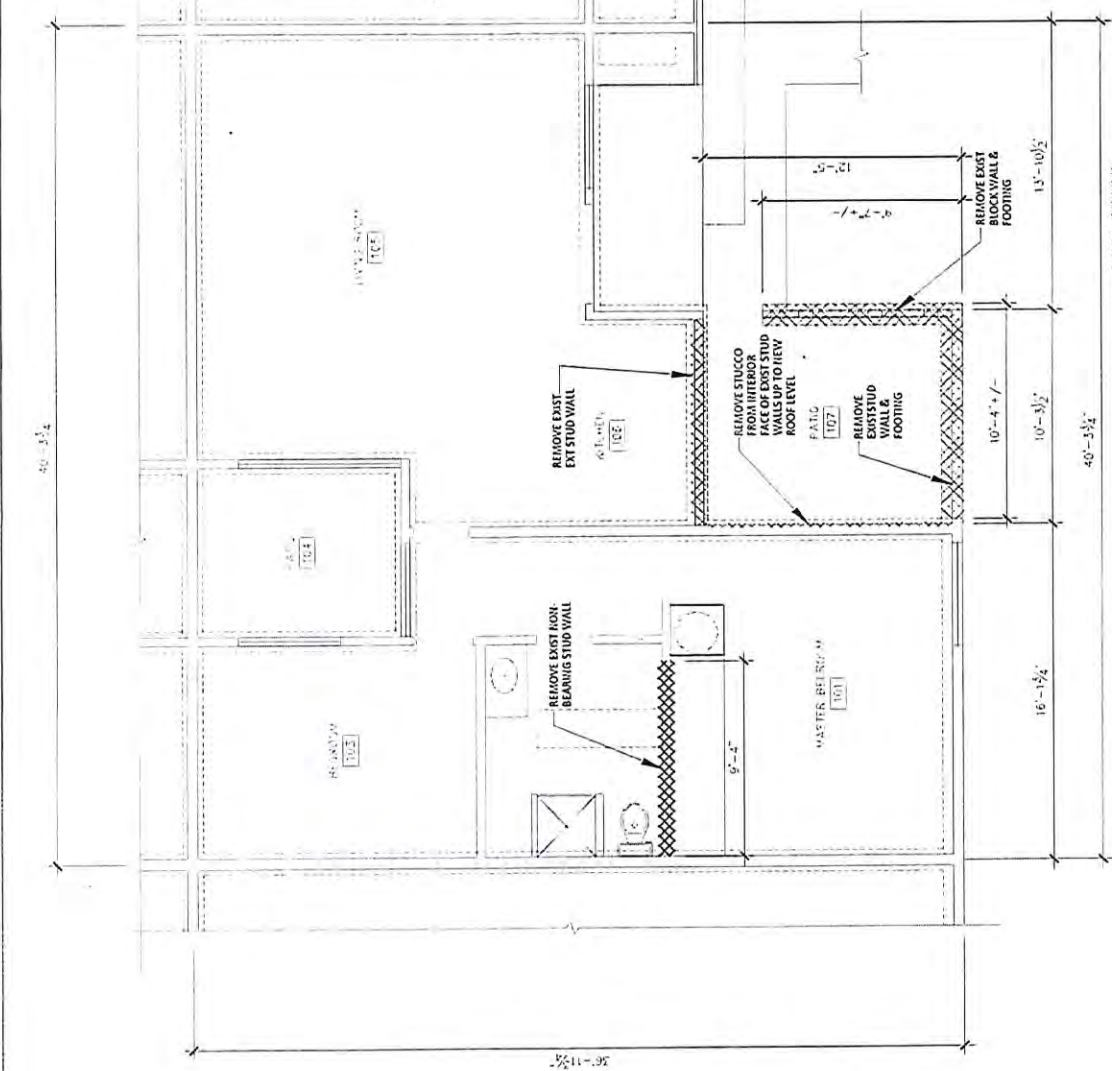
DEMOLITION & FLOOR PLANS
 SATTARZADEH RESIDENCE
 308 Avenida Castilla, Unit C
 Laguna Woods, CA 92637

MOD-001	DATE
DESIGNED BY MSZ	DATE
DRAWN BY MS	DATE
CHECKED BY MSZ	DATE
DATE	July-2023
SHEET NUMBER	A-1



PROPOSED FLOOR PLAN
 SCALE: 1/4"=1'-0"

EXISTING LIVING AREA	= 1035 SF
EXISTING KITCHEN AREA	= 128 SF
EXISTING BATH AREA	= 82 SF
EXISTING STORAGE AREA	= 14 SF
EXISTING PORCH AREA	= 103 SF
ADDITIONAL PORCH AREA	= 28 SF



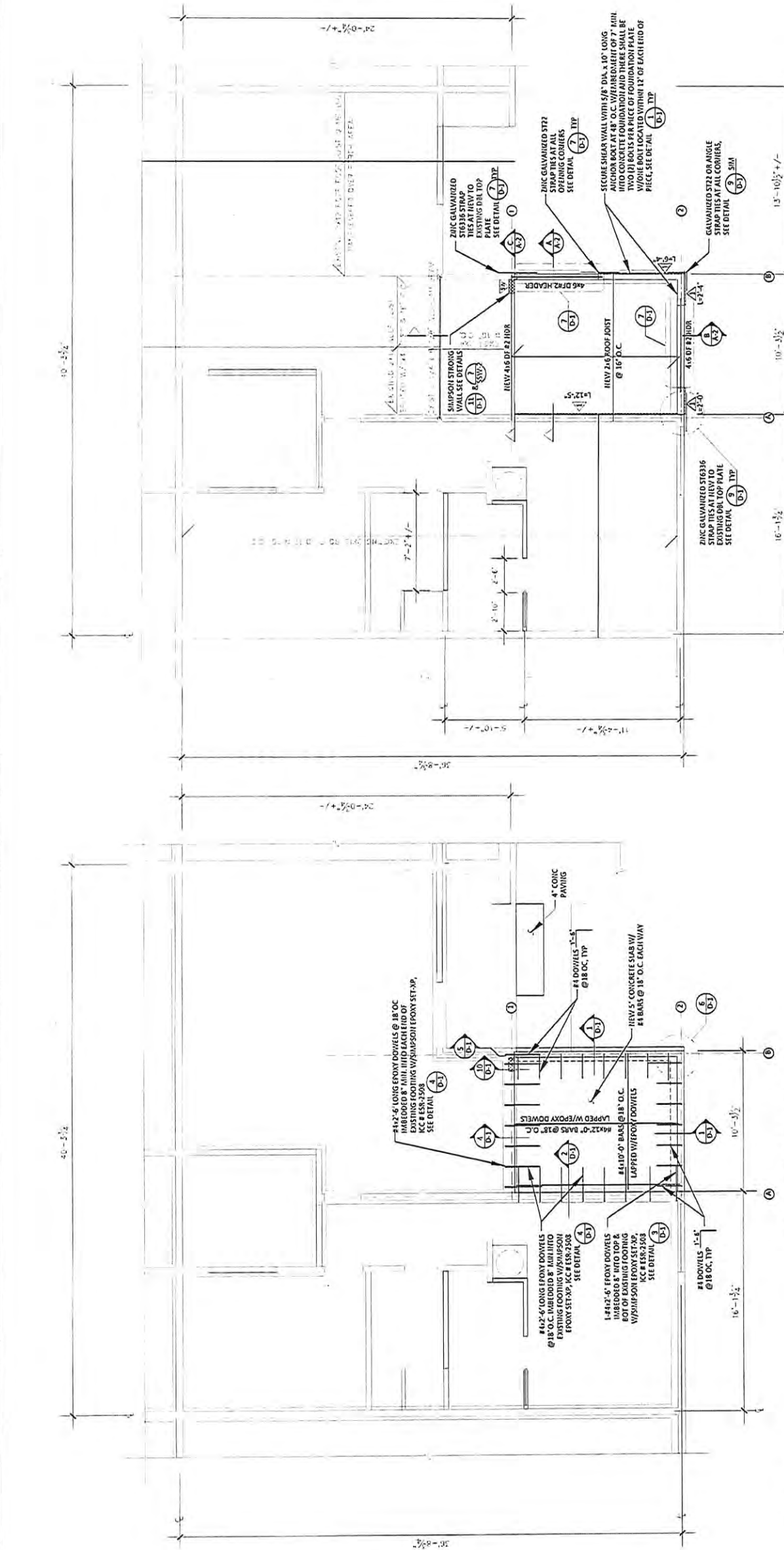
DEMOLITION PLAN
 SCALE: 1/4"=1'-0"

EXISTING LIVING AREA	= 1035 SF
EXISTING KITCHEN AREA	= 128 SF
EXISTING BATH AREA	= 82 SF
EXISTING STORAGE AREA	= 14 SF
EXISTING PORCH AREA	= 103 SF

WALL LEGEND:

- NEW WALL CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED OR RELOCATED

- FLOOR PLAN NOTES**
1. PROVIDE MINIMUM ONE INCH NOSE RIB AT FRONT OF THE HOUSE WITH BACK FLOW PREVENTION DEVICES PER/WHITELY
 2. AT EACH FLOOR PROVIDE 30 MIN MINIMUM 1/2" HORIZONTAL CLEARANCE FROM BARRIER TO COMBUSTIBLES
 3. MAXIMUM FLOW RATE STANDARD ARE: WATER CLOSETS 1.28 GPM FLUSH, SHOWER HEAD 2.2 GPM LAUNDRY FAUCETS 1.76 GPM SINK FAUCETS 1.76 GPM
 4. USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS
 5. EXISTING STUD WALL SHALL BE IN LINED TO ALL STUDS AND TOP AND BOTTOM PLATES
 6. PROVIDE A MINIMUM CLASS "A" ROOFING MATERIAL ALL ROOFING MATERIALS MUST OVERLAP THE EDGE OF THE ROOF SURFACE
 7. PROVIDE ANTI-SCALDING VALVE IN SHOWERS AND TUB SHOWERS
 8. ALL EXHAUST FANS SHALL PROVIDE A MINIMUM 50 CFM AND SHALL HAVE AUTOMATIC BACK DRAFT DAMPERS
 9. ONLY THE NEW LIGHTS, SWITCHES AND OUTLETS SHOWN ON THE PROPOSED PLANS
 10. ALL EXHAUST FANS AND CARBON MONOXIDE ALARMS SHALL SOUND AND AN ALARM BELL SHALL SOUND AREAS OF THE BUILDING AND SHALL BE INTERCONNECTED TO SOUND AT THE SAME TIME DETECTORS ARE NOT TO BE LOCATED IN THE KITCHEN, GARAGE, OR WITHIN 3 FEET FROM DOOR TO KITCHEN OR BATHROOM OR SUPPLY REGISTERS IN BATHROOM
 11. ALL ELECTRICAL PANELS SHALL BE LOCATED IN THE MAIN LIVING AREA POWER FROM THE BUILDING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND SHALL COMPLY WITH SECTION R315, ALL APPLICABLE STANDARDS AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARMS, R315.3.1
 12. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED BE DUAL GLAZE INSULATED AND TO HAVE U FACTOR= 0.40 & SHGC= 0.40 CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC)
 13. ALL SHOWN CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION AND SUPPLY CERTIFICATE OF COMPLIANCE TO THE OWNER
 14. ALL EXTERIOR WALLS, ALL RAISED FLOOR AREAS AND THE ENTIRE ROOFCEILING AREA WILL HAVE INSULATION INSTALLED AS PER ENERGY CODE
 15. ELECTRICAL WIRING SHALL BE COPPER, NO ALUMINUM ALLOWED
 16. RECESSED LIGHTS IN INSULATED CEILING SHALL BE UL LISTED FOR DIRECT CONTACT WITH INSULATION
 17. PROVIDE MOST STOP FLASHING AROUND ALL WINDOWS, DOORS AND OTHER OPENINGS
 18. NO PLASTIC WATER PIPING ALLOWED WITHIN THE BUILDING









FOUNDATION NOTES

SCALE: 1/4" = 1'-0"


- 1 DUE TO EXPANSIVE SOILS, MANY POST TENSION FOUNDATIONS ARE USED IN LAGUNA WOODS. THEREFORE, CARE MUST BE TAKEN WHENEVER ADDITIONS OR MODIFICATIONS ARE MADE TO EXISTING STRUCTURES. THESE POST TENSION TENDONS CANNOT BE SEVERED TO PLACE NEW FOUNDATIONS FOR ADDITIONS OR REMODELS WITHOUT CARE AND ENGINEERED DESIGNED. PLEASE FIELD VERIFY AND CONTACT THE ENGINEER ON RECORD IF POST TENSION FOUNDATIONS ARE FOUND
- 2 ALL EXTERIOR WALLS TO BE SECURED WITH 5/8" LEAST DIAWATER BY 10' LONG ANCHOR BOLTS EMBEDDED AT 7" INTO CONCRETE WITH A MAXIMUM SPACING OF 48". THERE SHALL BE A MINIMUM TWO BOLTS PER PIECE OF FOUNDATION PLATE WITH ONE BOLT LOCATED WITHIN 12" OF EACH END OF EACH PIECE. A PROPERLY SIZE NIP AND 3 X 3 X .23" PLATE WASHER SHALL BE TIGHTEN ON EACH BOLT TO THE PLATE
- 3 ALL SHEAR WALLS TO BE SECURED WITH ANCHOR BOLTS SPACED PER FOUNDATION PLAN AND SHEAR WALL SCHEDULE
- 4 THE 5/8" DIAWATER ANCHOR BOLT SHALL BE 10' LONG WHERE 3X6 FOUNDATION/SAL PLATES OCCUR. VERIFY WITH FRAMING PLANS AND SHEAR WALL SCHEDULE
- 5 TOP OF SLAB TO BE EMBEDDED MIN. 7" INTO FIRST POUR OF CONCRETE. TOP OF SLAB TO BE MINIMUM 6" ABOVE FINISH GRADE
- 6 ALL ANCHOR BOLTS SHALL BE EMBEDDED MIN. 8" INTO FIRST POUR OF CONCRETE IF TWO POUR SYSTEM USED
- 7 ALL FOUNDATION HARDWARE INCLUDING ANCHOR BOLTS FOR SHEAR WALL TO BE SET FOR INSPECTION BEFORE POURING OF CONCRETE
- 8 ALL INTERIOR NON-SHEAR WALLS ARE TO BE SECURED WITH SHOT PINS. INSTALLED PER MANUFACTURERS'S RECOMMENDATIONS UNTO. STRUCTURAL ENGINEERS CALCULATIONS GOVERN IN ALL CASES. ALL ABS PIPING PASSING THRU SLAB SHALL BE WRAPPED WITH 1/2" THICK LAYER OF FOAM. COPPER PIPING TO BE WRAPPED WITH PLASTIC SLEEVES
- 9 SPECIAL INSPECTION IN ACCORDANCE WITH SECTION 1704.1 OF THE 2020 CBC BY A REGISTERED DEPUTY BUILDING INSPECTOR APPROVED BY THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT SHALL BE REQUIRED FOR THE FOLLOWING WORKS

- | | |
|---|--|
| A | REF #518 WITH EPOXY SET XP ICC ESR 2593 |
| B | 1" DIA VETER THREADED ROD WITH EPOXY SET XP ICC ESR 2593 FOR S/P/PSI STRONG WALL |
| C | #4 DOWELS INTO EXISTING FOOTING WITH EPOXY SET XP ICC 2593 |

FOOTING & WALL LEGEND:

	NEW FOUNDATION CONSTRUCTION
	EXISTING FOUNDATION CONSTRUCTION
	NEW SIMPSON SHEAR WALL
	NEW WALL CONSTRUCTION
	F ¹ FRAMWOOD 1 OR OSB SHEAR WALL
	EXISTING CONSTRUCTION TO REMAIN

SHEAR WALL SCHEDULE

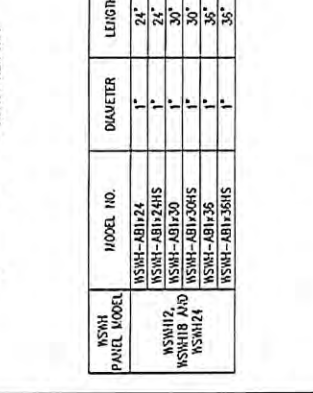
SHEAR WALL SCHEDULE	SYMBOL	SHEATHING	EDGE HAILING	FIELD HAILING	FRAMING HAILING	CONNECTION AT TOP PLATE	ANCHOR BOLTS TO FOUNDATION	SILL INLAYS TO S/D FLOOR & UPPER STORIES	SHEAR ALLOW (POD)
		3/4" PLYWOOD STRUCT I OR OSB	EDGE 4" OR 5"	EDGE 12" OR 14"	2X4	A-35 @ 34" O.C. OR LTP4 @ 31" O.C.	1" AB @ 48" O.C.	160 @ 5"	200 PLF

PROPOSED ROOF FRAMING PLAN

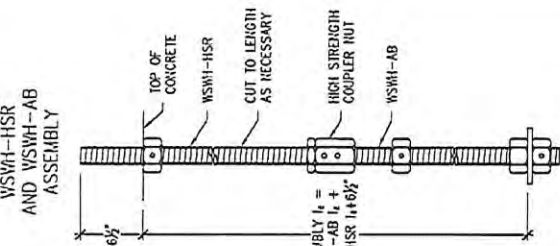
SCALE: 1/4"=1'-0"

SHEAR WALLS NOTES

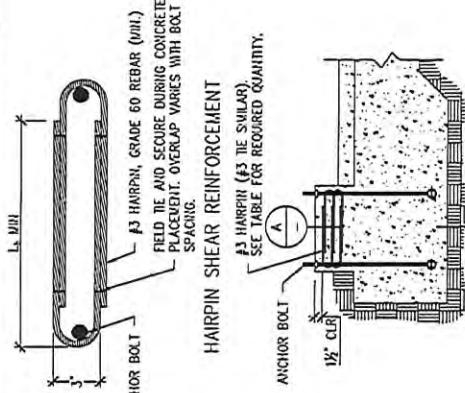
1. NAILS FOR PLYWOOD ATTACHMENT SHALL BE COMMON OR GALVANIZED BOY 10ULS. THE USE OF PNEUMATICALLY DRIVEN NAILS IS SUBJECT TO APPROVAL BY STRUCTURAL ENGINEER. FOR THIS PROJECT APPROVED
 2. PLYWOOD SHEATHING SHALL BE STANDARD (C-D) GRADE WITH EXTERIOR GLUE. PROVIDE 2X 4 IN. MINIMUM BLOCKING OR FRAMING MEMBERS AT ALL PANEL EDGES UNLESS NOTED OTHERWISE IN THE SCHEDULE OR ON THE DRAWINGS
 3. PROVIDE EDGE NAILING (C-D) TO POST OR STUD WHERE HOLDOWN OCCURS
 4. ALL SILL PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED DOUGLAS FIR
 5. PROVIDE A MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF SILL PLATE WITH ONE BOLT LOCATED 12" MAX. 5" MIN. OF EACH END AND 18" MIN. OF EACH END
 6. GYPSUM AND STUCCO WALLS & INSL. @ ALL STUDS TOP
 7. NAILING AT 7" O.C. SHALL BE STAGGERED
 8. DECREASE SHEAR VALUE BY 50% FOR DRY WALL
 9. 3X FRAMING MEMBER REQUIRED AT ADJOINING PANEL EDGES AND FOUNDATION SILL PLATE
 10. MAXIMUM STUD SPACING SHALL BE 16"
 11. USE 3 X 3 X 1/4" CUT PLATE WASHERS AT ALL ANCHOR BOLTS
 12. USE MINIMUM 12" LONG 5/8" A.B. FOR SHEAR WALLS WITH 3X SILL PLATE
 13. AT EXISTING INTERIOR FOOTINGS USE 5/8" DIA. 6' LONG 1/2" OR MECHANICALLY GALVANIZED BOLT WEDGE ANCHOR (UB9 ERI-1372), 5/8" DIA. 6' LONG 1/2" FOR 2X SILL PLATE AND 10" LONG 1/2" FOR 3X SILL PLATE. OR RF565X8 RETROFIT W/ EPOXY.
 14. AT EXISTING EXTERIOR FOOTINGS USE RF635X8 WITH EPOXY
 15. FOR SHEAR WALL #10 EXISTING 2X4 SILL PLATE CAN BE USED WITH RF635X8 @ 16" O.C
 16. FOR SHEAR WALL #11 & #12 EXISTING 2X4 SILL PLATE CAN BE USED WITH RF635X8 @ 10" O.C
- *DENOTES REQUIREMENTS WHEN SHEAR MATERIAL IS SPECIFIED FOR EACH SIDE OF WALL



WSWH PANEL MODEL	MODEL NO	DIAMETER	LENGTH	I_x
WSWH12	WSWH-HSR12-2KT	1"	24"	172"
WSWH18 AND WSWH24	WSWH-HSR18-3KT	1"	36"	293"



WSWH PANEL MODEL	MODEL NO	DIAMETER	LENGTH	I_x
WSWH12	WSWH-HSR12-2KT	1"	24"	172"
WSWH18 AND WSWH24	WSWH-HSR18-3KT	1"	36"	293"



DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSDM-ABI ANCHOR BOLT			
			WSDM ALLOWABLE UPLIFT (ksi)	W (lb)	d _a (in)	d _s (in)
SEISMIC	CRACKED	STANDARD	16,000	27	9	
			17,100	29	10	
			34,700	44	15	
	UNCRACKED	HIGH STRENGTH	36,600	46	16	
			15,700	23	8	
			17,100	25	9	
WIND	CRACKED	HIGH STRENGTH	33,900	38	13	
			36,600	40	14	
			17,100	26	7	
	UNCRACKED	STANDARD	16,000	27	9	
			17,100	29	10	
			21,400	30	10	
WIND	CRACKED	HIGH STRENGTH	28,400	35	12	
			32,400	39	13	
			36,600	43	15	
	UNCRACKED	STANDARD	6,800	12	6	
			12,400	18	6	
			21,800	21	8	
WIND	UNCRACKED	HIGH STRENGTH	26,700	30	10	
			30,700	33	11	
			35,600	37	13	

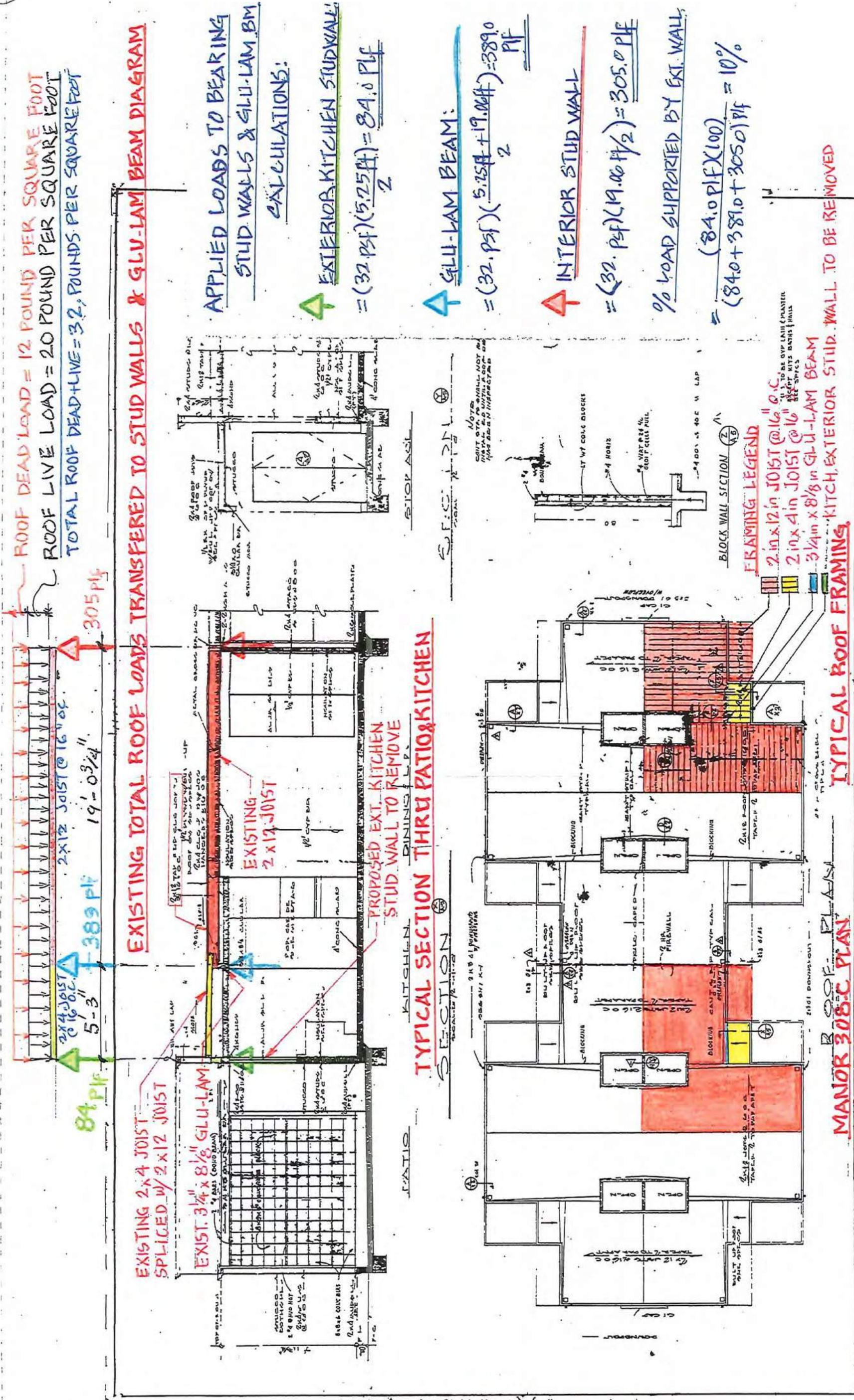
STRONG-WALL® HIGH STRENGTH WOOD SHEARWALL SHEAR ANCHORAGE							
MODEL	SE5VC ³			W5VC ⁴			ASD ALLOWABLE SHEAR LOAD, V (lb.)
	L ₁ OR L ₂ (in.)	SHEAR REINFORCEMENT	MIN. CURB/STEWALL WIDTH (in.)	SHEAR REINFORCEMENT	MIN. CURB/STEWALL WIDTH (in.)	UNCRACKED	
WSWH12	10X	(1) #3 TIE (2) #3 HARPINS ⁵	6	SEE NOTE 7	6	1,080	770
WSWH18	15	(2) #3 HARPINS ⁵	6	(1) #3 HARPINS ⁵	6		HARPIN REIN. ACHIEVES MAX ALLOWED END OF THE WALL
WSWH24	19	(2) #3 HARPINS ⁵	6	(2) #3 HARPINS ⁵	6		

NOTES:

1. SHEAR ANCHORAGE DESIGNS CONFORM TO ACI 318-19, ACI 318-11 AND ACI 318-14 AND ASSUME MINIMUM 2,500 PSI CONCRETE.
2. SHEAR REINFORCEMENT IS NOT REQUIRED FOR INTERIOR FOUNDATION APPLICATIONS (PANEL INSTALLED AWAY FROM EDGE OF CONCRETE). BRACED WALL PANEL APPLICATIONS ARE NOT APPLICABLE.
3. SEISMIC INDICATES SEISMIC DESIGN CATEGORY C THROUGH F. DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC C MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC SHEAR REINFORCEMENT DESIGNS CONFORM TO ACI 318-19, SECTION 17.10.3.3, ACI 318-14, SECTION 17.2.3.3.3 AND 17.2.3.3.3.3.
4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B.
5. ADDITIONAL TIES MAY BE REQUIRED AT GARAGE CURB OR STEEWALL INSTALLATIONS BELOW ANCHOR REINFORCEMENT PER DESIGNER.
6. USE (1) #3 HARBEN FOR USMIBW WHEN STANDARD STRENGTH ANCHOR IS USED.
7. USE (1) #3 HARBEN FOR USMIBW WHEN PANEL DESIGNER SPECIFIED EXCESS REINFORCED ANCHORAGE ALLOWABLE SHEAR LOAD.
8. #4 GRADE 60 SHEAR REINFORCEMENT MAY BE SUBSTITUTED FOR #3 GRADE 60 SHEAR ANCHORAGE SOLUTIONS.
9. CONCRETE EDGE DISTANCE FOR ANCHORS MUST COMPLY WITH ACI 318-19 SECTION 17.5.2, ACI 318-14 SECTION 17.7.2 AND ACI 318-11 SECTION 17.8.2.

ON THE DESIGNER MAY SPECIFY ALTERNATE SHEAR ANCHORAGE

Sketch #1



RESTRICTIVE NOTICE-ARCHITECTURAL DRAWINGS
THE INFORMATION HEREIN IS FOR YOUR INFORMATION ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
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MANOR 308-C PLAN

ROOF PLAN

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ABREVIATIONS:
EXIST. EXISTING
EXT. EXTERIOR
FF. FEET OR FEET
ON CENTER
PLF. POUND PER LINEAL FOOT

ATTACHMENT 5 CONDITIONS OF APPROVAL DRAFT
--

CONDITIONS OF APPROVAL

Manor: 308-C

Variance Description: Kitchen Extension into Front Patio

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. The new alteration roof must be installed using materials to match the existing Mutual roof to which it will be tied into (PVC). All tie-in requirements outlined in section G.2. must be met.
- B.2. Where possible all materials and methods must correspond to existing mutual standards i.e. window construction, exterior finishes etc.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 308-C, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual

Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of alterations on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.

- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.
- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 308-C and all future Mutual Members at 308-C.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.

- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.11. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.12. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.13. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.

- G.14. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.15. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.16. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.17. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.19. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.20. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.21. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.22. Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6

RESOLUTION DRAFT

RESOLUTION 01-23-XX

Variance Request

WHEREAS, Member of 308-C Avenida Castilla, a Barcelona style manor, requests Board approval of a variance for a Kitchen Extension into Front Patio; and

WHEREAS, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on August 17, 2023; and

WHEREAS, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance for a Kitchen Extension into Front Patio;

NOW THEREFORE BE IT RESOLVED, on [DATE], the United Laguna Woods Mutual Board of Directors hereby approve the request for a Kitchen Extension into Front Patio; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Member at 308-C Avenida Castilla and all future Mutual Members at 308-C Avenida Castilla; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



STAFF REPORT

DATE: August 17, 2023
FOR: Architectural Controls and Standards Committee
SUBJECT: Revision to the Alteration Fee Schedule

RECOMMENDATION

Staff recommends the United Architectural Controls and Standards Committee (ACSC) endorse the revised Alteration Fee Schedule.

BACKGROUND

The Architectural Controls and Standards Committee requested staff to review and revise the current Alteration Fee schedule for applicability, and current bill rates. The Alteration Fee Schedule (Attachment 1) was last revised in March 2023, via Resolution 01-23-14 (Attachment 2) to address Solar Panel Alteration Processing fees.

DISCUSSION

The Alteration Fee schedule has been reviewed and revised to reflect the processing times spent for applications along with mutual bill rates and mutual policies. Attachment 3 incorporates these revisions and requirements.

Staff recommends that alterations that require less time for plan check processing are moved to the minimum \$50 fixed fee, while raising the valuation threshold at scaled intervals up to \$30,000 and above for application plan checks that incur the maximum \$700 alteration fee.

A final version along with revised fee resolution are included as Attachment 4.

FINANCIAL ANALYSIS

Based on the Mutual Consent Processing Analysis, it is anticipated that the projected revenue for 2023 will be reduced from \$234,415 to \$210,974, a reduction of \$23,441; however, the proposed new rates, which are based on actual average processing times, more closely represent and reimburse the staff time used to process these applications.

Prepared By: Baltazar Mejia, Maintenance & Construction Assistant Director

Reviewed By: Manuel Gomez, Maintenance & Construction Director

ATTACHMENT(S)

Attachment 1 – Current Alteration Fee Schedule

Attachment 2 – Current Resolution 01-23-14

Attachment 3 – Redlined Alteration Fee Schedule

Attachment 4 – Revised Resolution 01-23-XX and Alteration Fee Schedule

ATTACHMENT 1 – CURRENT ALTERATION FEE SCHEDULE



Alteration Fee Schedule

Visit www.lagunawoodsvillage.com for Mutual Standards and Standard Plans

All items below require HOA Mutual Consent from Manor Alterations.

A City Permit may also be required. Contact the City Building Permits office for permitting requirements.

For items not listed, please contact Manor Alterations at (949) 597-4616 or alterations@vmsinc.org

Unauthorized Alteration Fee	\$300
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\$50 Alteration Processing Fee
Alteration Type
Acoustic Ceiling Removal
Awnings (Standard, Less than 54")
Awnings (Powered)
HVAC (No Increase in Amperage)
Tub Replacement
Block Walls (Less than 48" H)
Block Walls (More than 48" H)
Planter Wall
Dishwasher (New Installation)
Door Revision (Exterior)
Electrical
Exhaust Fan
Fences (Less than 84") and Gates
Floor Coverings (Exterior)
Flooring (Vinyl)
Gutters and Downspouts
Metal Drop Shades
Modesty Panels (Balcony)
Patio Slab Revision
Patio Wall Revision
Plumbing
Soft Water System (Independent)
Soft Water System (Connected to Water Heater)
Storage Cabinets (Carport)
Shades (Roll-up)

Variance Processing Fee	\$150
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Alteration Fees Based on Valuation
Alteration Type
Air Conditioner (Through the Wall)
Bathroom Addition (Split)
Central HVAC (New Installation)
Atrium, Balcony, Patio Covers (Replacement or New Installation)
Doors (New Construction)
Atrium, Balcony, Patio Enclosures
French Doors (New Installation)
Garden Room, Solarium
Heat Pumps (New Installation through Wall)
Man Doors (New Installation)
Plumbing (New Installation or Relocation)
Room Addition
Shower to Shower Replacement
Skylights
Sliding Glass Doors (New Installation)
Sliding Glass Doors (Retrofit)
Solar Tubes
Tub to Shower Installation
Tub to Tub Replacement
Wall Revisions
Washer and Dryer (New Installation)
Water Heater (Relocation)
Windows (New Construction)
Windows (Retrofit)

NOTES

- Some Alterations may require a Demolition Mutual Consent, which carries a \$50 fee. To confirm if your Alteration will require a Demolition Mutual Consent, please contact Manor Alterations.
- Alteration Fees are paid via credit card upon approval of a completed Mutual Consent application. Manor Alterations will contact applicants directly upon approval to collect payment.
- The following fees, as appropriate to the nature of the work, apply to work completed without a Mutual Consent:
Unauthorized alteration fee + Demolition fee + Mutual Consent fee + Variance fee (if applicable).
- Variance Processing Fees are in addition to any fees incurred via Mutual Consent processing.

Alteration Fee Legend	
Valuation	Fee
Less than \$750	\$50
\$751 to \$2,000	\$77
\$2,001 to \$4,000	\$168
\$4,001 to \$6,000	\$280
\$6,001 to \$8,000	\$392
\$8,001 to \$10,000	\$504
Above \$10,000	\$700



Solar Application Processing Fee Schedule

For questions pertaining to the Solar Application process, please contact Manor Alterations at (949) 597-4616 or alterations@vmsinc.org

Visit www.lagunawoodsvillage.com for Mutual Standards and Standard Plans
All items require HOA Mutual Consent from Manor Alterations and a City Permit.

Variance Type	Fee
Solar Application Processing Fee	\$223



RESOLUTION 01-23-14

Solar Application Processing Fee

WHEREAS, alteration and variance requests require significant staff time for proper processing, including research, report preparation, presentation to the appropriate committee and Board; and

WHEREAS, in order to offset a portion of the administrative costs associated with processing variance requests, which is often followed by multiple resubmittals, and can be followed by an appeal to the Board in accordance with Resolution 01-20-27; and

WHEREAS, the following revisions are approved: 1) The Solar Installation Application Fee is revised to \$223; and

WHEREAS, the new Alteration Fee Schedule better aligns the fees with the administrative time it takes to process each task;

NOW THEREFORE BE IT RESOLVED, March 14, 2023, to partially offset administrative costs associated with processing alteration and variance requests, the Board of Directors of this Corporation hereby revise the alteration and inspection fees as attached to the official minutes of this meeting and the new Alteration Fee Schedule will be adopted; and

RESOLVED FURTHER, that Resolution 01-19-22 adopted February 12, 2019 is hereby superseded and canceled; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the resolution.

ATTACHMENT 3 – REDLINED ALTERATION FEE SCHEDULE



Laguna Woods Village®

Alteration Fee Schedule

Visit www.lagunawoodsvillage.com for Mutual Standards and Standard Plans

All items below require HOA Mutual Consent from Manor Alterations.

A City Permit may also be required. Contact the City Building Permits office for permitting requirements.

For items not listed, please contact Manor Alterations at (949) 597-4616 or alterations@vmsinc.org

Unauthorized Alteration Fee	\$300
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\$50 Alteration Processing Fee
Alteration Type
Acoustic Ceiling Removal
Awnings (Standard, Less than 54")
Awnings (Powered)
HVAC (No Increase in Amperage)
Tub Replacement
Block Walls (Less than 48" H)
Block Walls (More than 48" H)
Planter Wall
Dishwasher (New Installation)
Door Revision (Exterior)
Electrical
Exhaust Fan
Fences (Less than 84") and Gates
Floor Coverings (Exterior)
Flooring (Vinyl)
Gutters and Downspouts
Metal Drop Shades
Modesty Panels (Balcony)
Patio Slab Revision
Patio Wall Revision
Plumbing
Sliding Glass Doors (Retrofit)
Soft Water System (Independent)
Soft Water System (Connected to Water Heater)
Solar Tubes
Storage Cabinets (Carport)
Tub to Tub Replacement
Windows (Retrofit)
Shades (Roll-up)

Variance Processing Fee	\$150
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Alteration Fees Based on Valuation
Alteration Type
Air Conditioner (Through the Wall)
Bathroom Addition (Split)
Central HVAC (New Installation)
Atrium, Balcony, Patio Covers (Replacement or New Installation)
Doors (New Construction)
Atrium, Balcony, Patio Enclosures
French Doors (New Installation)
Garden Room, Solarium
Heat Pumps (New Installation through Wall)
Man Doors (New Installation)
Plumbing (New Installation or Relocation)
Room Addition
Shower to Shower Replacement
Skylights
Sliding Glass Doors (New Installation)
Tub to Shower Installation
Wall Revisions
Washer and Dryer (New Installation)
Water Heater (Relocation)
Windows (New Construction)

Alteration Fee Legend	
Valuation	Fee
Less than \$750	\$50
\$751 to \$2,000	\$77
\$2,001 to \$4,000	\$168
\$4,001 to \$10,000	\$280
\$10,001 to \$20,000	\$392
\$20,001 to \$29,999	\$504
Above \$30,000	\$700

NOTES

- Some Alterations may require a Demolition Mutual Consent, which carries a \$50 fee. To confirm if your Alteration will require a Demolition Mutual Consent, please contact Manor Alterations.
- Alteration Fees are paid via credit card upon approval of a completed Mutual Consent application. Manor Alterations will contact applicants directly upon approval to collect payment.
- The following fees, as appropriate to the nature of the work, apply to work completed without a Mutual Consent:
Unauthorized alteration fee + Demolition fee + Mutual Consent fee + Variance fee (if applicable).
- Variance Processing Fees are in addition to any fees incurred via Mutual Consent processing.



~~Solar Application Processing Fee-~~ Schedule Other Fees

~~For questions pertaining to the Solar Application process, please contact Manor Alterations at (949) 597-4616 or alterations@vmsinc.org~~

~~Visit www.lagunawoodsvillage.com for Mutual Standards and Standard Plans. All items require HOA Mutual Consent from Manor Alterations and a City Permit.~~

Variance -Type	Fee
Solar Application Processing Fee (1)	\$223

Future revisions to the Alteration Fee Schedule will be included with the Annual Assessment Letter Packet that the Finance Department issues every year in November under the Architectural Review Procedures section of the Annual Policy Statement.

Following are the applicable sections of the approved resolutions adopting the respective fees:

(1) The mutual consent processing fee for Solar Panel installation is to be calculated based on 4.7 hours charged at the current bill rates; and the mutual consent processing fee for Solar Panel installation requests is set at the initial rate of \$223 for 2023 and will be adjusted annually with the adoption of the new bill rates. [Resolution 01-23-14]

ATTACHMENT 4 – REVISED RESOLUTION 01-23-XX AND ALTERATION FEE
SCHEDULE



RESOLUTION 01-23-XX

Alteration Fee Schedule

WHEREAS, alteration and variance requests require significant staff time for proper processing, including research, report preparation, presentation to the appropriate committee and Board; and

WHEREAS, in order to offset a portion of the administrative costs associated with processing alteration applications, the Board has adopted an Alterations Fee Schedule; and

WHEREAS, the attached revisions to the Alteration Fee Schedule are recommended to be approved by the Board; and

WHEREAS, the new Alteration Fee Schedule better aligns the fees with the administrative time it takes to process each task;

NOW THEREFORE BE IT RESOLVED, [DATE], that the Board hereby adopts the revised Alteration Fee Schedule as attached to the official minutes of this meeting; and

RESOLVED FURTHER, that the following section from the prior resolution remains valid:

- (1) The mutual consent processing fee for Solar Panel installation is to be calculated based on 4.7 hours charged at the current bill rates; and the mutual consent processing fee for Solar Panel installation requests is set at the initial rate of \$223 for 2023 and will be adjusted annually with the adoption of the new bill rates; and

RESOLVED FURTHER, that Resolution 01-23-14 adopted March 14, 2023 is hereby superseded and canceled; and

RESOLVED FURTHER, that future revisions to the Alteration Fee Schedule will be included with the Annual Assessment Letter Packet that the Finance Department issues every year in November under the Architectural Review Procedures section of the Annual Policy Statement; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the resolution.

SEPTEMBER INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28- days from the postponement to comply with Civil Code §4360.



Laguna Woods Village®

Alteration Fee Schedule

Visit www.lagunawoodsvillage.com for Mutual Standards and Standard Plans

All items below require HOA Mutual Consent from Manor Alterations.

A City Permit may also be required. Contact the City Building Permits office for permitting requirements.

For items not listed, please contact Manor Alterations at (949) 597-4616 or alterations@vmsinc.org

Unauthorized Alteration Fee	\$300
-----------------------------	-------

\$50 Alteration Processing Fee
Alteration Type
Acoustic Ceiling Removal
Awnings (Standard, Less than 54")
Awnings (Powered)
HVAC (No Increase in Amperage)
Tub Replacement
Block Walls (Less than 48" H)
Block Walls (More than 48" H)
Planter Wall
Dishwasher (New Installation)
Door Revision (Exterior)
Electrical
Exhaust Fan
Fences (Less than 84") and Gates
Floor Coverings (Exterior)
Flooring (Vinyl)
Gutters and Downspouts
Metal Drop Shades
Modesty Panels (Balcony)
Patio Slab Revision
Patio Wall Revision
Plumbing
Sliding Glass Doors (Retrofit)
Soft Water System (Independent)
Soft Water System (Connected to Water Heater)
Solar Tubes
Storage Cabinets (Carport)
Tub to Tub Replacement
Windows (Retrofit)
Shades (Roll-up)

NOTES

- Some Alterations may require a Demolition Mutual Consent, which carries a \$50 fee. To confirm if your Alteration will require a Demolition Mutual Consent, please contact Manor Alterations.
- Alteration Fees are paid via credit card upon approval of a completed Mutual Consent application. Manor Alterations will contact applicants directly upon approval to collect payment.
- The following fees, as appropriate to the nature of the work, apply to work completed without a Mutual Consent:
Unauthorized alteration fee + Demolition fee + Mutual Consent fee + Variance fee (if applicable).
- Variance Processing Fees are in addition to any fees incurred via Mutual Consent processing.

Variance Processing Fee	\$150
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Alteration Fees Based on Valuation
Alteration Type
Air Conditioner (Through the Wall)
Bathroom Addition (Split)
Central HVAC (New Installation)
Atrium, Balcony, Patio Covers (Replacement or New Installation)
Doors (New Construction)
Atrium, Balcony, Patio Enclosures
French Doors (New Installation)
Garden Room, Solarium
Heat Pumps (New Installation through Wall)
Man Doors (New Installation)
Plumbing (New Installation or Relocation)
Room Addition
Shower to Shower Replacement
Skylights
Sliding Glass Doors (New Installation)
Tub to Shower Installation
Wall Revisions
Washer and Dryer (New Installation)
Water Heater (Relocation)
Windows (New Construction)

Alteration Fee Legend	
Valuation	Fee
Less than \$750	\$50
\$751 to \$2,000	\$77
\$2,001 to \$4,000	\$168
\$4,001 to \$10,000	\$280
\$10,001 to \$20,000	\$392
\$20,001 to \$29,999	\$504
Above \$30,000	\$700



Other Fees

Type	Fee
Solar Application Processing Fee (1)	\$223

Future revisions to the Alteration Fee Schedule will be included with the Annual Assessment Letter Packet that the Finance Department issues every year in November under the Architectural Review Procedures section of the Annual Policy Statement.

Following are the applicable sections of the approved resolution adopting the Solar Application Processing fees:

- (1) The mutual consent processing fee for Solar Panel installation is to be calculated based on 4.7 hours charged at the current bill rates; and the mutual consent processing fee for Solar Panel installation requests is set at the initial rate of \$223 for 2023 and will be adjusted annually with the adoption of the new bill rates. [Resolution 01-23-14]

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